



**CHARLOTTE HISTORIC DISTRICT COMMISSION**  
**CERTIFICATE OF APPROPRIATENESS - AMENDED**

**CERTIFICATE NUMBER:** HDCADMRM-2017-00272

**DATE:** 19 May 2017

21 June 2017 - AMENDED

**ADDRESS OF PROPERTY:** 1414 The Plaza

**HISTORIC DISTRICT:** Plaza Midwood

**TAX PARCEL NUMBER:** 09507916

**OWNER(S):** Matthew Harrison

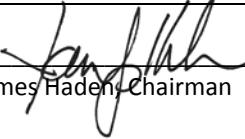
**DETAILS OF APPROVED PROJECT:** Rear Addition. The project is a two-story rear addition and rear yard paver patio. The new addition footprint measures approximately 16'-0" x 14'-0". The height of the new addition will be approximately 24'-10" and will tie in beneath the existing ridge. Details of the addition include Hardie Artisan siding with a 6" reveal and a 0.5" thickness with mitered corners, to match the depth/dimension of the existing, original wood siding on the front dormers. Hardie will also be used for the vents, window trim, and door trim and will match existing in depth and dimension. Existing window trim on the gable dormers is 3 ¾" thickness all around and all of the new window trim on the addition will match all of the details and dimensions of the original windows. The new windows will be the Marvin Integrity wood-ultrex series, double-hung with 5/8" Simulated True Divided Light (STD L) molded muntins with a spacer bar in a 6/6 pattern to match existing. The two sets of French-style doors on the rear elevation will also be the Marvin Integrity wood-ultrex series with STD L molded muntins. The foundation of the new addition will be clad in brick. New factory clad gutters and downspouts will be installed on the addition. The new paver patio will be set in sand and measure approximately 12 feet wide and 20 feet long. See attached plans.

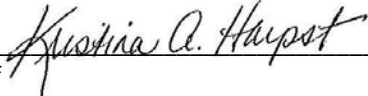
1. The use of an alternative siding material on the rear addition was approved by the Full Historic District Commission on May 10, 2017.
2. Applicable Policy & Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval page 2.6: Work in Rear Yards.
3. This application is in compliance with the Policy & Design Guidelines for Additions (7.2), Landscaping and Lawns (8.4), and based on location of proposed work.

*Continued on next page*

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

**This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.**

  
James Haden, Chairman

  
Staff

DESIGN REVIEW SET  
NOT FOR CONSTRUCTION

# HARRISON RESIDENCE ADDITION

1414 THE PLAZA  
CHARLOTTE, NC  
28205

DESIGN REVIEW SET  
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**STUDIO S**  
architecture  
1429 Bevis Drive  
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APRIL 18, 2017  
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## STANDARD ABBREVIATIONS

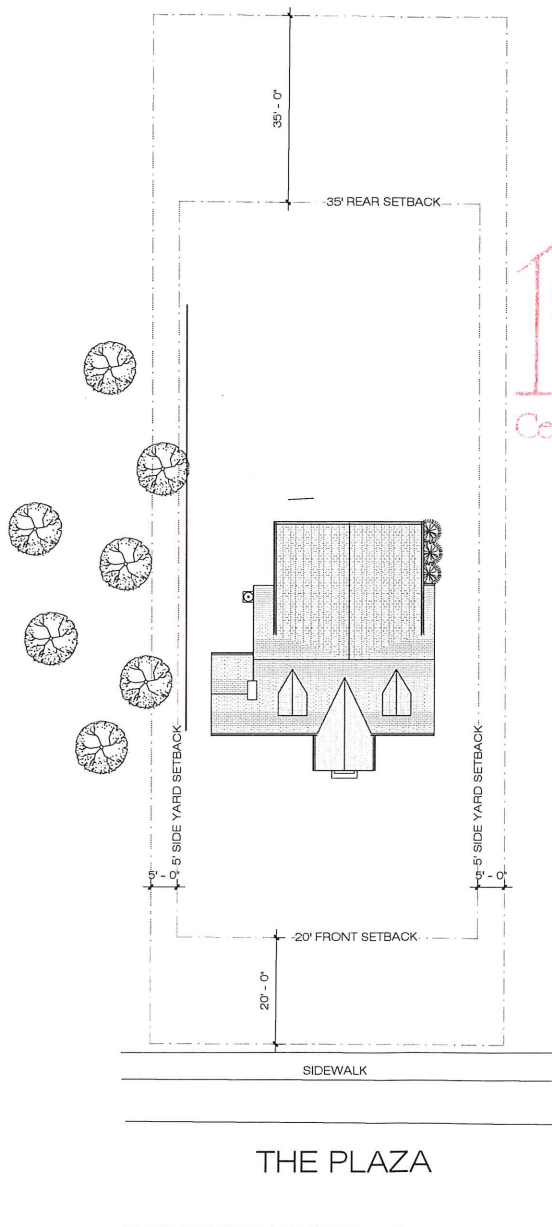
SF-SQUARE FEET	EG-END GUARD	MTL-METAL
SIM-SIMILAR	EQB-EXTERIOR GYPSUM BOARD	MTP-METAL TRIM PAINT
SFCS-SPECIFICATIONS	EJ-EXPANSION JOINT	MVF-MEDIUM VINYL FABRIC
SR-STRAIGHT RUBBER BASE	EP-EPOXY PAINT	NA-NOT APPLICABLE
SS-STAINLESS STEEL	ES-EPOXY SEMI-GLOSS	NIC-NOT IN CONTRACT
SSM-SOLID SURFACE MATERIAL	ETR-EXISTING TO REMAIN	NTS-NOT TO SCALE
STD-STANDARD	EWC-ELECTRIC WATER COOLER	O-DOWNER
STL-STEEL	EWL-ELECTRIC WATER HEATER	OA-OVER ALL
SV-SHEET VINYL	EXIST-EXISTING	OC-ON CENTER
T-TABLE	EXP-EXPOSED STRUCTURE	OD-OUTSIDE DIMENSION
TA-TOUCHLESS ACTUATOR	EXT-EXTERIOR	OH-OVERHEAD
TB-TACKBOARD	FA-FIRE ALARM	OPNG-OPENING
TEL-TELEPHONE	FEC-FIRE EXTINGUISHER	P-PAINT
TLT-TOILET	CABINET	PC-PRECAST CONCRETE
TPART-TOILET PARTITION	FHC-FIRE HOSE CABINET	PANEL
TUSV-TURNED-UP SHEET	FIN-FINISH	PE-PAINT-EPOXY
VINYL	FLR-FLOOR	PES-PAINT-EPOXY SEMI GLOSS
TV-TELEVISION	FR-FIRE RESISTANT	PF-PAINT-FLAT FINISH
TYP-TYPICAL	FT-FINISH FLOOR TRANSITION	PL-PLASTER
UNO-UNLESS NOTED OTHERWISE	FWC-FABRIC WALL COVERING	PLAM-PLASTIC LAMINATE
V-VENDOR	GFI-GROUND FAULT INTERRUPTER	PLYWD-PLYWOOD
VAT-VINYL ASBESTOS TILE	GL-GLASS	POR-PORCELAIN TILE
VC-VARIEGATED COATING	GR-GROUT	PP-PUSH PAD
VCT-VINYL COMPOSITION TILE	GWB-GYPSUM WALLBOARD	PRELIM-PRELIMINARY
VERT-VERTICAL	HDW-HARDWARE	PS-PAINT-SEMI-GLOSS
VIF-VERIFY IN FIELD	HM-HOLLOW METAL	PTB-PORCELAIN TILE BASE
VSP-VERTICAL SURFACE FABRIC	HORIZ-HORIZONTAL	PTM-PATCH TO MATCH
VPL-VENEER PLASTER	HR-HANDRAIL	PTS-PNEUMATIC TUBE SYSTEM
VWC-VINYL WALL COVERING	HWSV-HEAT WELDED SHEET VINYL	RAD-RADIUS
WI-WITH	HVF-HEAVY VINYL FABRIC	RB-RUBBER BASE
WO-WITHOUT	ID-INSIDE DIMENSION	REF-REFERENCE
WB-WOOD BASE	INCA-INCANDESCENT	REV-REVISED OR REVISION
WC-WALL CARPET	INSUL-INSULATION	RF-RUBBER FLOORING
WCM-WOOD CROWN MOLDING	LAM-LAMINATE	RH-ROOM
WD-WOOD	MAT-MATERIAL	RQD-REQUIRED
WDW-WINDOW	MFRCT-MOISTURE RESISTANT TILE	SA-SOUND ATTENUATION
WP-WALL PROTECTION	MRGB-MOISTURE RESISTANT GYPSUM BOARD	SC-SEALED CONCRETE
WR-WALL RAIL		SCS-SUSPENDED CEILING SYSTEM
WSSV-WELDED SEAM SHEET VINYL		SCHED-SCHEDULE
XCT-EXISTING CERAMIC TILE		
DWG-DRAWING		

## GENERAL NOTES

- PLANS HAVE BEEN DEVELOPED FROM MEASURED EXISTING FIELD CONDITIONS. MINOR DEVIATIONS ARE TO BE EXPECTED. THESE SHOULD GENERALLY BE WORKED OUT ON SITE. IN THE EVENT THAT A CRITICAL CONFLICT IS DISCOVERED, CONSULT WITH THE ARCHITECT FOR A DESIGN SOLUTION.
- BUILDER IS EXPECTED TO EXECUTE ALL WORK USING BEST PRACTICES FOR ALL MEANS AND METHODS. REPORT ANY CONFLICTS TO ARCHITECT FOR DESIGN RESOLUTION.
- BUILDER TO COMPLY WITH ALL APPROPRIATE BUILDING CODES.
- REFER TO BUILDING ELEVATIONS FOR WINDOW SIZES AND TYPES.
- SHADED ELEMENTS REPRESENT NEW BUILDING STRUCTURE.
- FURNITURE IS SHOWN FOR SPACE PLANNING PURPOSES ONLY.
- FINAL CASEWORK DESIGN (KITCHEN, BATHROOM, ETC.) TO BE FINALIZED BY OTHERS.
- ALL FF&E (FINISHES, FIXTURES AND EQUIPMENT) TO BE SELECTED BY OWNERS IN CONJUNCTION WITH THE INTERIOR DESIGNER. THIS INCLUDES ITEMS SUCH AS CABINETS, CROWN, FLOOR FINISHES, ETC.
- NEW HARDWOOD TO BE SAWTOOTHED IN TO EXISTING. EXISTING HARDWOODS SHOULD BE SANDED, AND ENTIRE NEW FLOOR STAINED TO PROVIDE A CONTINUOUS, CONSISTENT FLOOR FINISH.
- BUILDER IS ENCOURAGED TO PROVIDE FIELD VERIFIED DIMENSIONS TO TRUSS FABRICATOR PRIOR TO FABRICATION.
- ALL NEW EXTERIOR WALLS TO RECEIVE MINIMUM R-13 INSULATION.
- ALL NEW ROOF SYSTEMS TO RECEIVE R-30 MINIMUM INSULATION.
- MATCH NEW WINDOW STYLE AS CLOSELY AS POSSIBLE TO EXISTING WINDOWS TO REMAIN.
- MATCH NEW ROOF SHINGLES TO EXISTING SHINGLES TO REMAIN.
- ALL STRUCTURAL MEMBER SIZES TO BE SIZED BY A STRUCTURAL ENGINEER AND TRUSS FABRICATOR'S ENGINEER.
- ALL ELECTRICAL FIXTURES, SUCH AS OUTLETS, LIGHTS, FANS, ETC. TO BE SELECTED AND LOCATED ON SITE WITH THE OWNERS.
- PLUMBING, ELECTRICAL AND MECHANICAL ENGINEERING TO BE PROVIDED BY RESPECTIVE TRADES.
- STRUCTURE OF EXISTING BUILDING TO BE INSPECTED AND EVALUATED BY THE STRUCTURAL ENGINEER TO ENSURE BEARING CAPACITY OF ADDITIONAL BUILDING LOADS.

NEW WORK IS TO BE CONSTRUCTED WITHIN THE FOOTPRINT OF THE EXISTING HOUSE STRUCTURE. NO NEW AREA OF THE SITE WILL BE USED UNDER THE CURRENT SCOPE OF WORK.

DOOR SIZE IN FEET AND INCHES - FOR EXAMPLE THIS DOOR IS 3'-0"x6'-8" - ONLY NEW DOORS ARE CALLED OUT



THE PLAZA

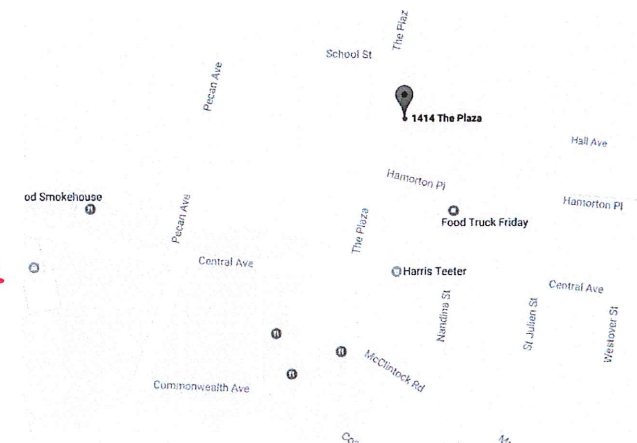
① SITE  
1/16" = 1'-0"



## INDEX OF DRAWINGS

A000	COVER SHEET
A101	NEW FLOOR PLANS
A102	ROOF PLAN
A201	ELEVATIONS
A301	BUILDING SECTIONS AND DETAILS

## VICINITY MAP



BUILDING ARCHITECT

STUDIO S, PLLC  
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www.studios-pllc.com

ELECTRICAL ENGINEER

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STRUCTURAL ENGINEER

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PLUMBING ENGINEER

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HARRISON RESIDENCE

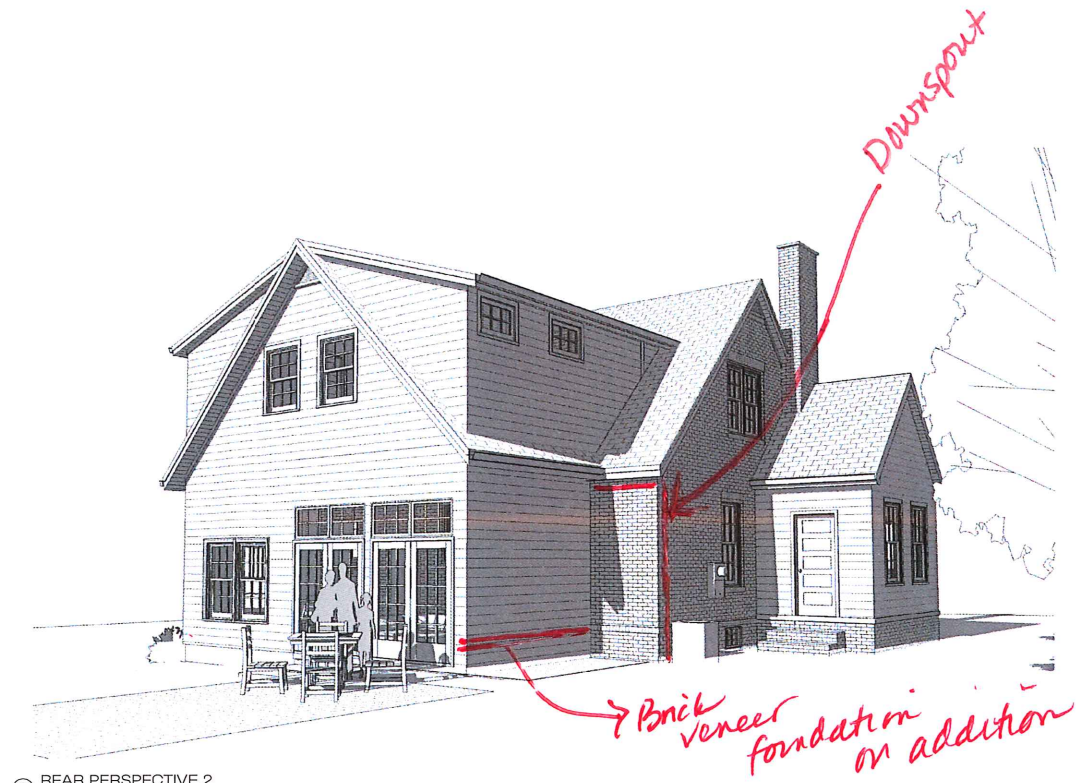
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COVER SHEET

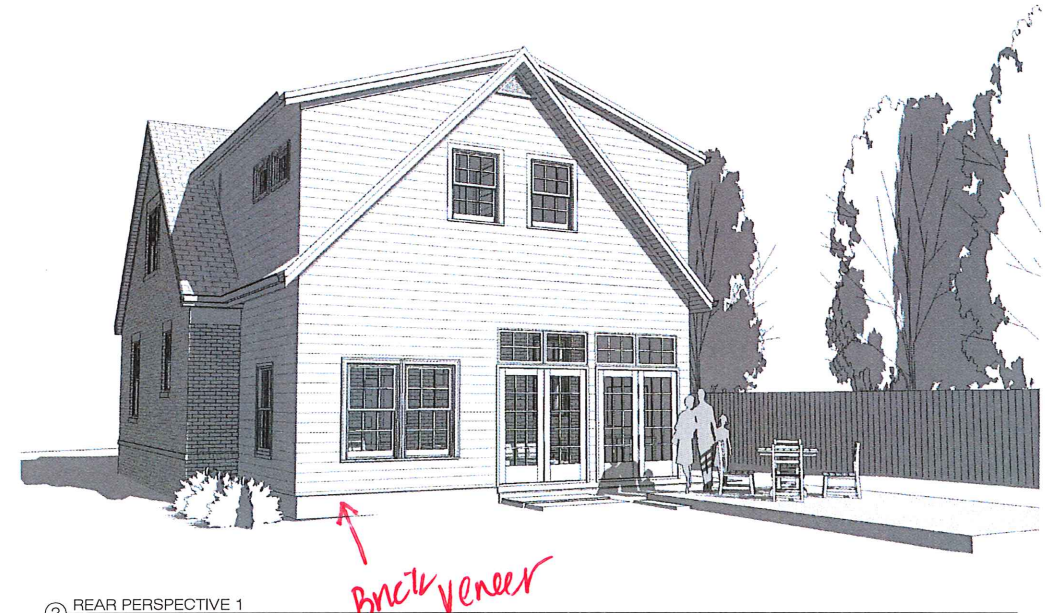
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③ REAR PERSPECTIVE 2



② REAR PERSPECTIVE 1



APPROVED

Charlotte  
Historic District  
Commission

Certificate of Appropriateness

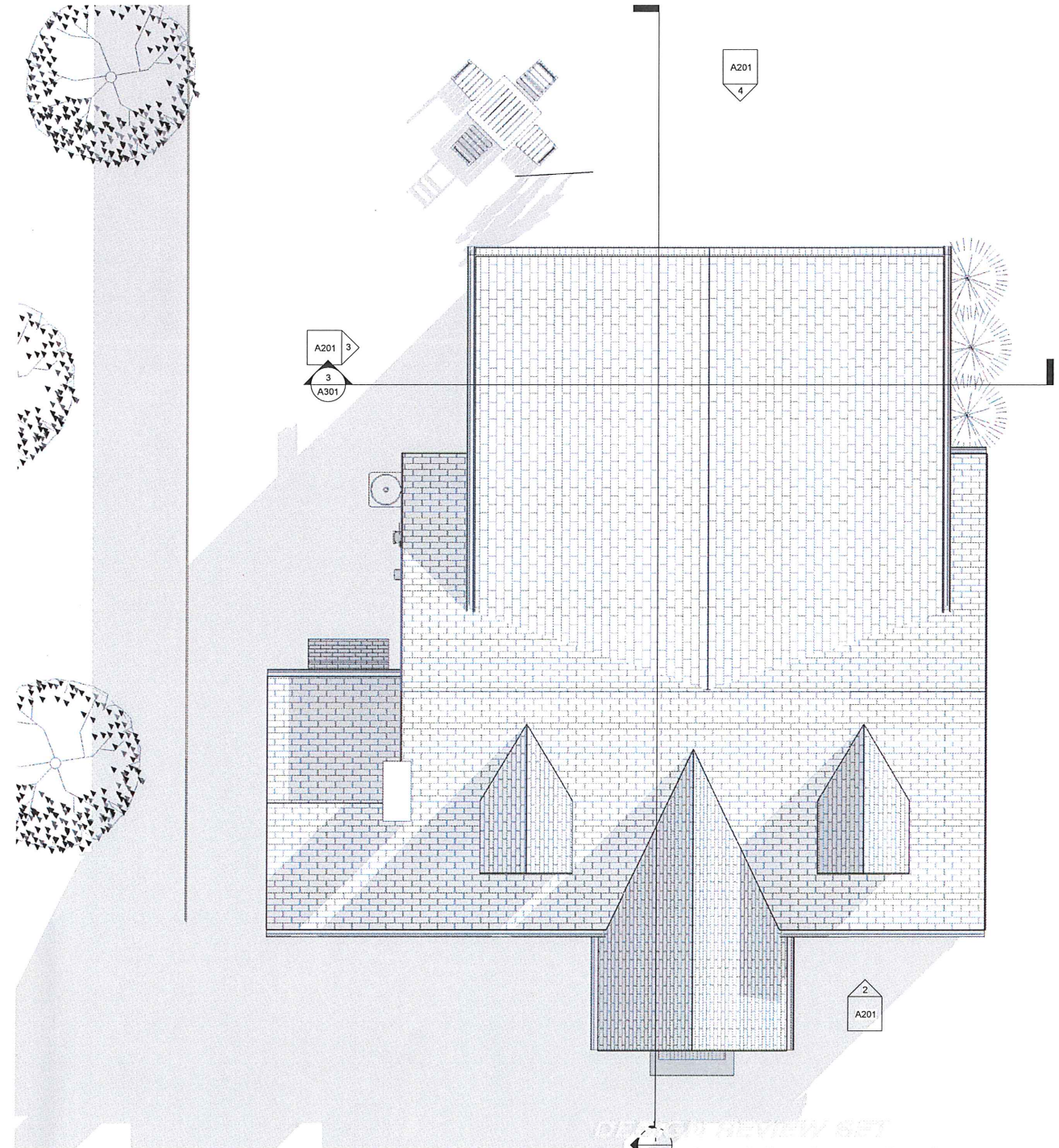
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① ROOF PLAN  
1/4" = 1'-0"

HARRISON  
RESIDENCE

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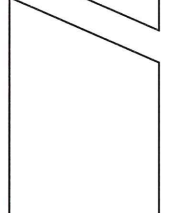
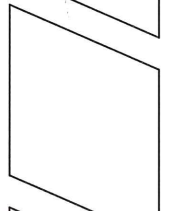
ROOF PLAN

A102

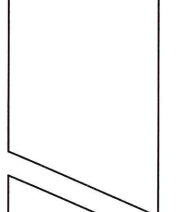
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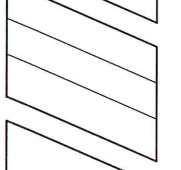
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HARRISON  
RESIDENCE

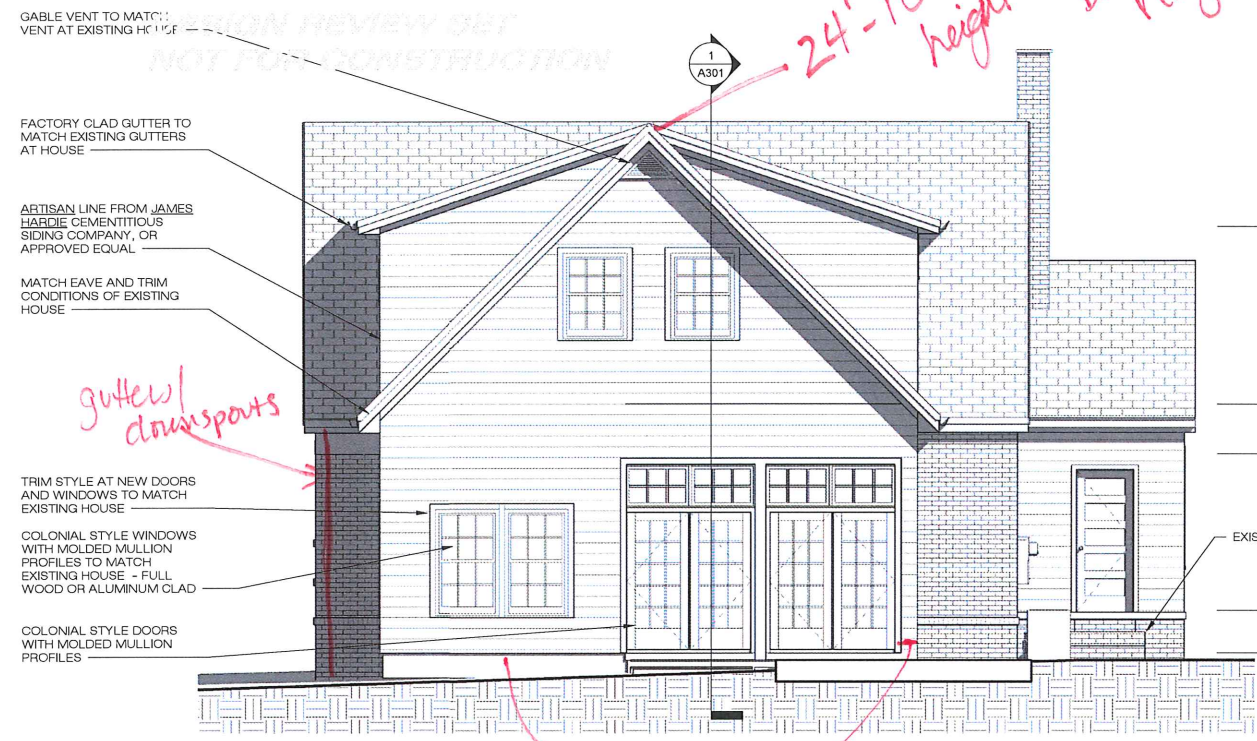


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ELEVATIONS

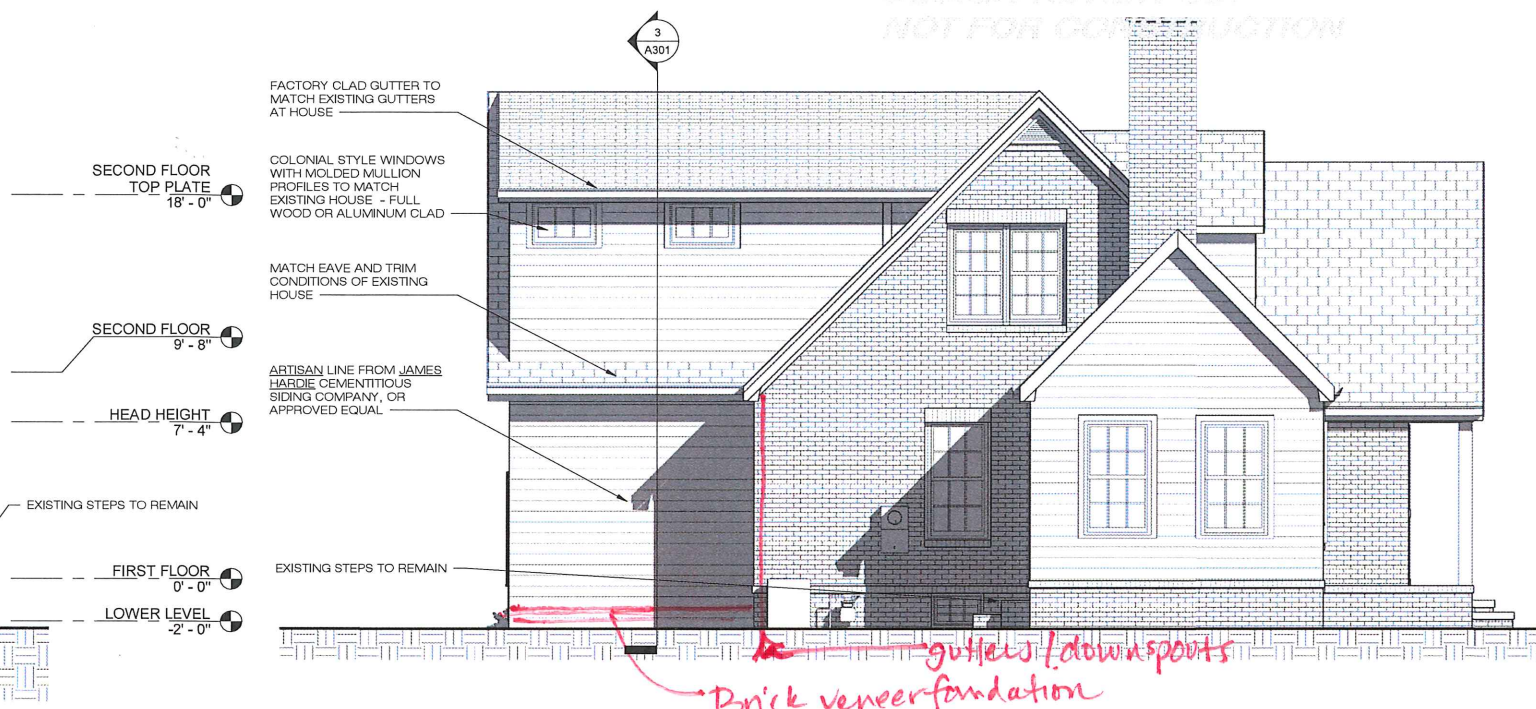
A201



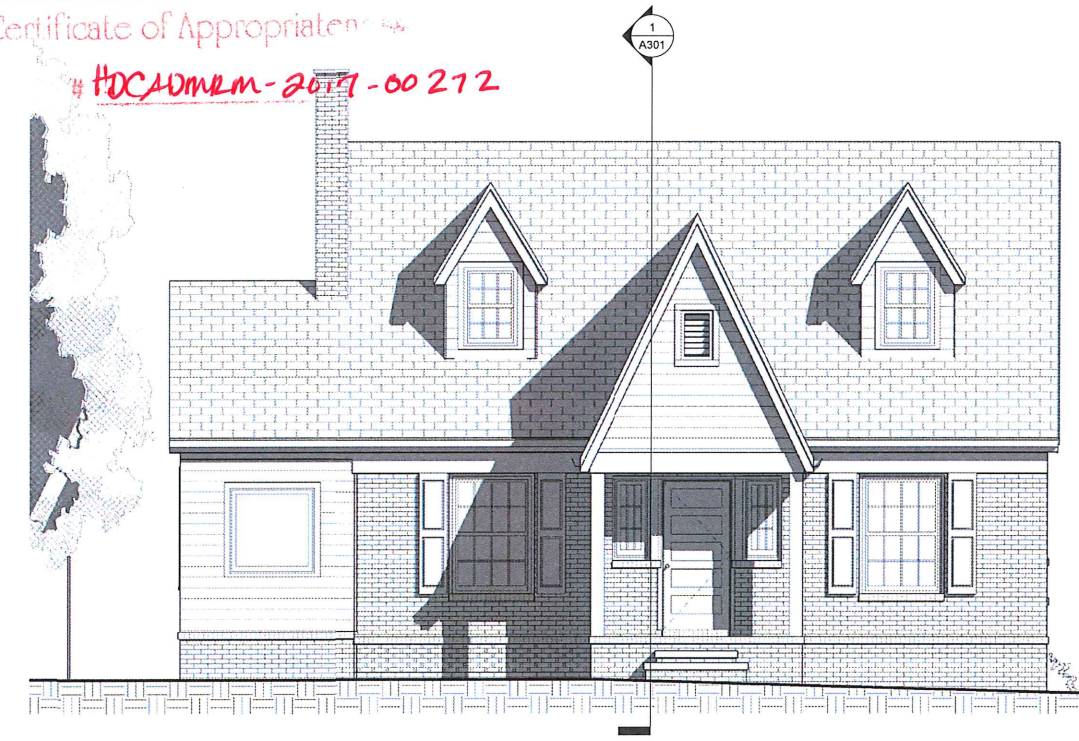
4 BACK ELEVATION  
1/4" = 1'-0"

**APPROVED**  
Charlotte  
Historic District  
Commission  
Certificate of Appropriateness

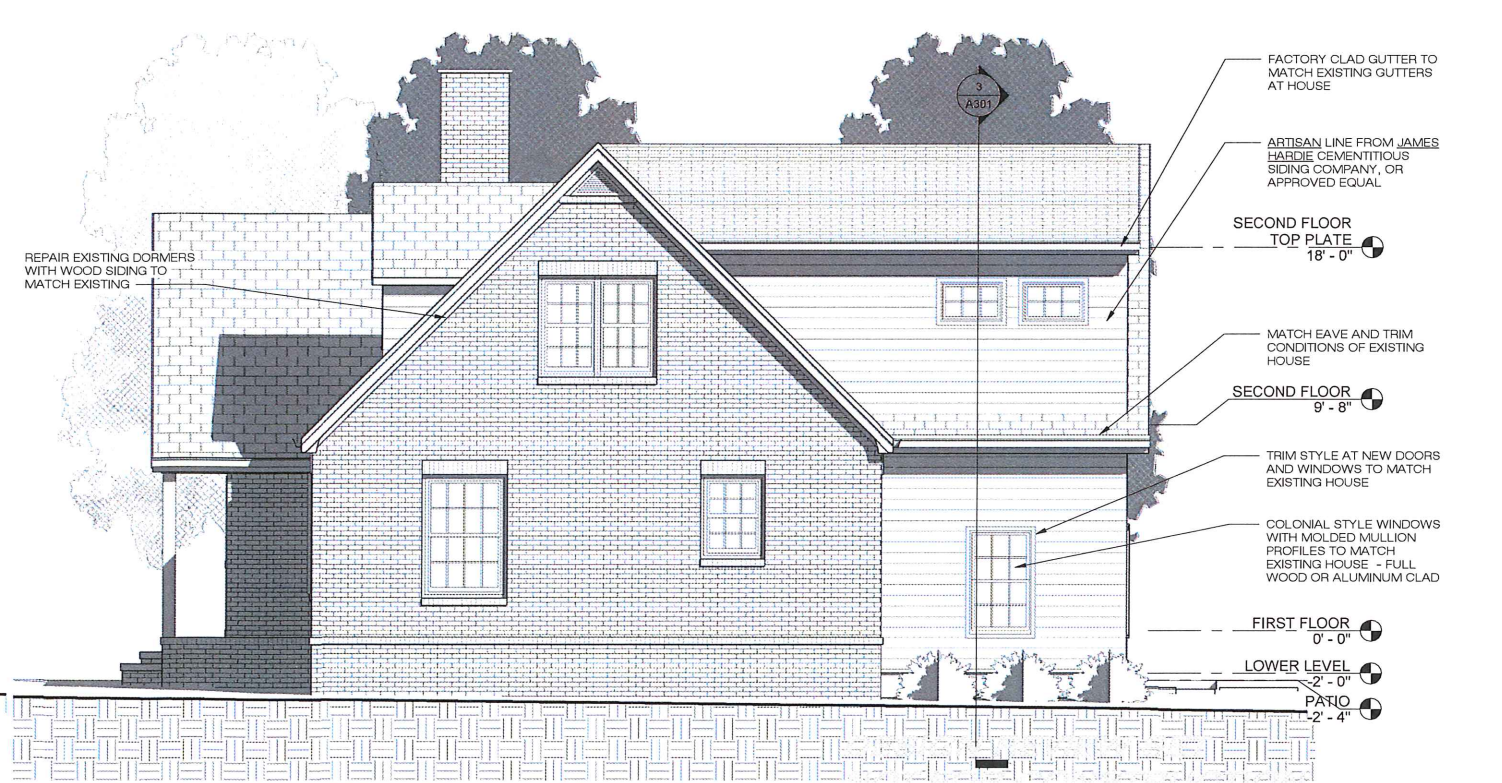
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3 LEFT ELEVATION  
1/4" = 1'-0"



2 FRONT ELEVATION  
1/4" = 1'-0"



1 RIGHT ELEVATION  
1/4" = 1'-0"

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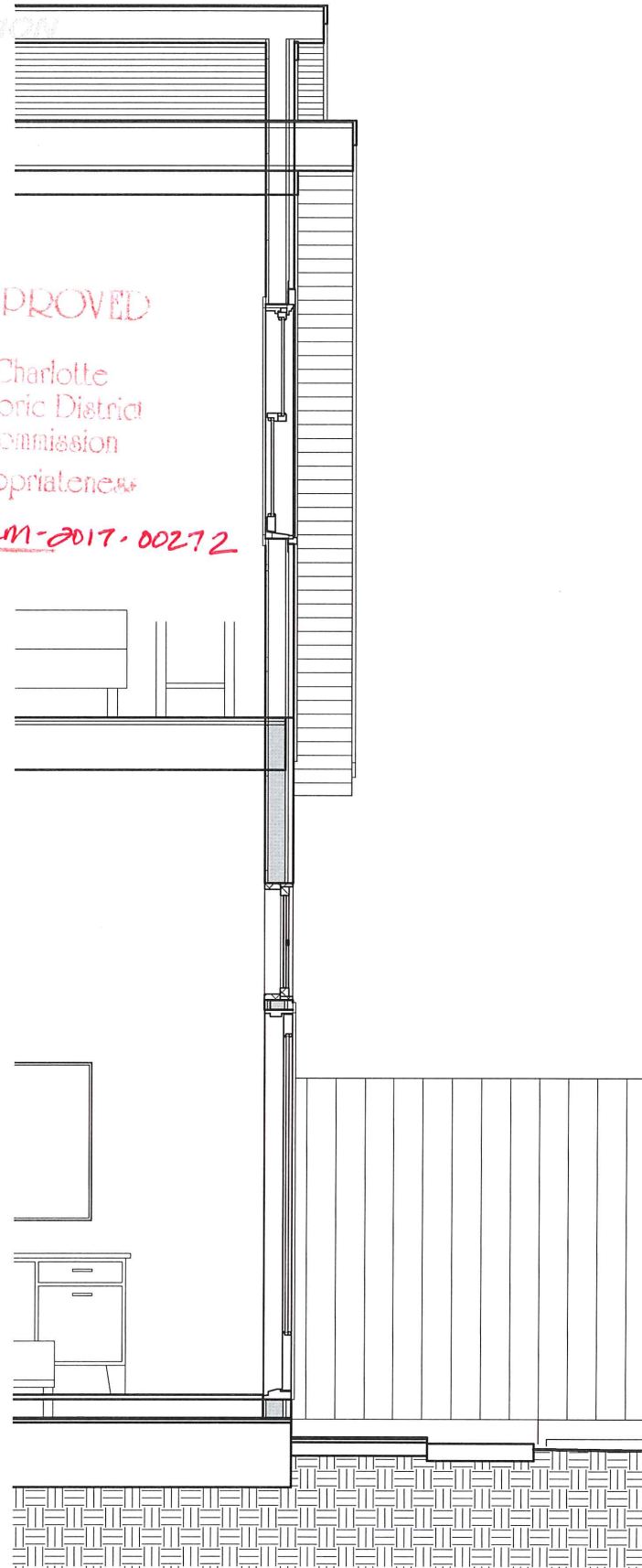


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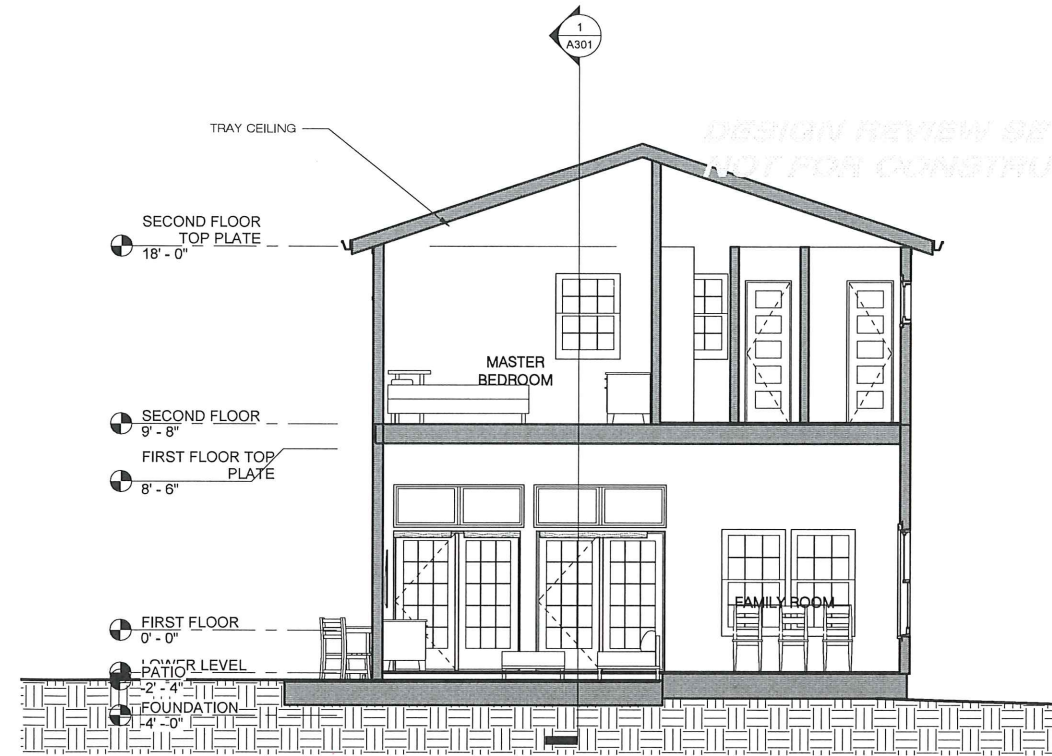
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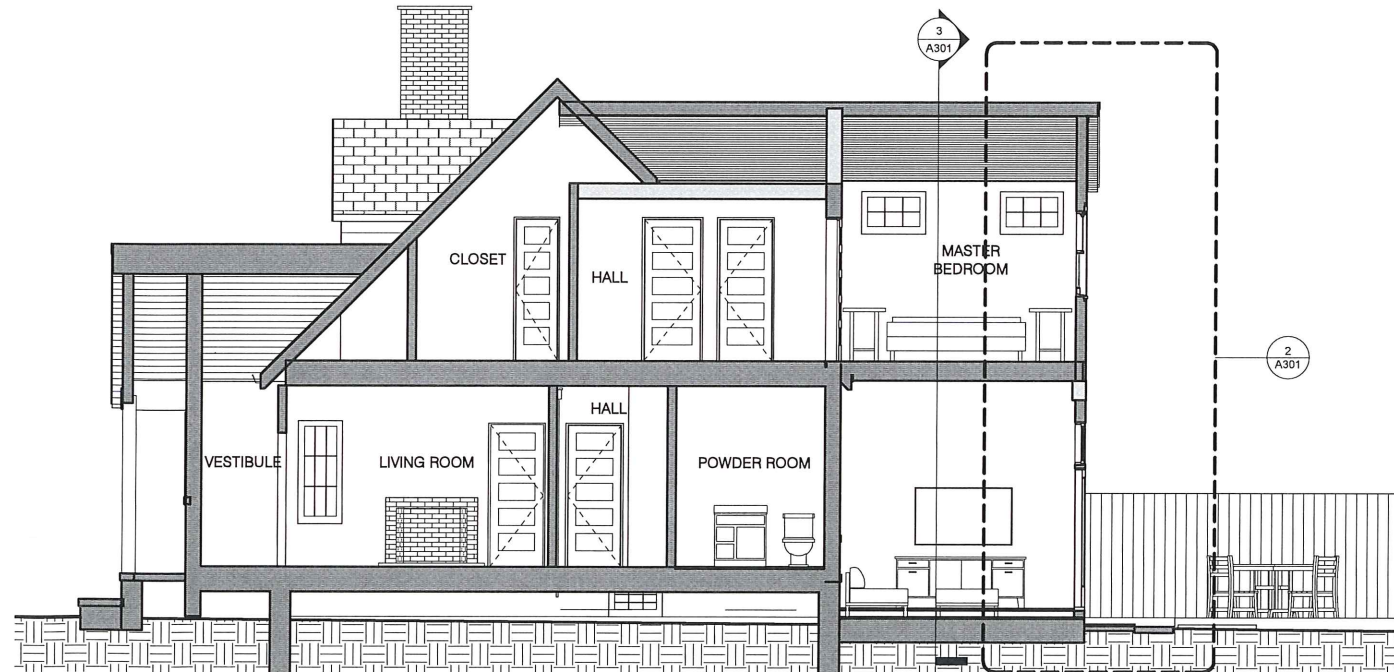
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② Section 1 - Callout 1  
3/4" = 1'-0"



③ Section 4  
1/4" = 1'-0"



① Section 1  
1/4" = 1'-0"

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BUILDING  
SECTIONS  
AND  
DETAILS

A301